

***North Ranch
Community
Guidelines
and
Lot Owners'
Information Package***

**Approved: January 6, 2025
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ESCAPEES NORTH RANCH

Lot Owners' Information Package and Community Guidelines

TABLE OF CONTENTS

North Ranch Lot Descriptions, Definitions and Locations of easements, Setbacks, and ENRCAMA property	3
Rules for lot sitters and guests	4
Rules for landscaping of ENRCAMA property	5
Guidelines for Grading and Drainage	6
Lot Owners Contractor Guidelines	7
General Construction Guidelines	8
Solar Panels	9
Small Lot Development Plan	10
Architectural Guidelines for Small Lots	12
Interpretation of Guidelines	13
Guidelines for Easement / Setbacks	14
Arizona Rooms	15
Large Lot Development Plan	16
Architectural Guidelines for Large Lots	18
Interpretations of Guidelines	19
Guidelines for Construction of Walls	20
Tips for Care of Septic System	21
North Ranch Map	22
Typical Large Lot Drawings	23-25
Typical Small Lot Drawings	26, 27
North Ranch Allowed Lot Coverage	28, 29
Yavapai County Development Services Policy PB-19	30, 31

These Community Guidelines along with the CC&Rs form the governing documents for the North Ranch community. In the event of any discrepancy between these documents or Yavapai County requirements, the more restrictive shall apply.

North Ranch Advisory Committee contact: enradvisory@gmail.com

NORTH RANCH LOT DESCRIPTION

Large Lots: Lots 1- 236. Approximately one-fourth (1/4) acre in area, but usable property varies depending on road and easement requirements. Owners are responsible for erosion control. All drainage must be onto the street.

Small Lots: Lots 237- 436. Approximately fifty by seventy feet (50' by 70') but may vary due to road radii and easements. Small lots were initially supplied with sheds and pedestals for utility services. Owners are responsible for erosion control. Drainage must be to the street.

DEFINITION OF EASEMENTS, SETBACKS, AND ESCAPEES AT NORTH RANCH COMMON AREA MAINTENANCE ASSOCIATION INC. (ENRCAMA) PROPERTY

- A. EASEMENT: All easements are utility easements and are granted as a legal right to utility companies (electricity, water, gas, telecommunications, etc.) to access, install, maintain or upgrade their infrastructure on private land. The property owner retains ownership but must allow utilities to use the easements. Property owners may be restricted on building or landscaping within the area to prevent interference. Property owners may not block or impede access to the easement area.
- B. SETBACK: Property area set aside in which construction is not allowed, except for fences and landscaping.
- C. ESCAPEES AT NORTH RANCH COMMON AREA MAINTENANCE ASSOCIATION INC. PROPERTY (ENRCAMA). This is the 50' right of way which includes 11 1/2 feet from the lot side edge of the curb to the property line on all lots.

LOCATIONS OF EASEMENTS, SETBACKS AND ENRCAMA PROPERTY

LARGE LOTS

The first 11' 6" of property from the lot side edge of the curb is ENRCAMA property. The front lot line is 11' 6" from the lot side edge of the curb. Behind the front lot line there is a 20' setback. There is also a setback of 7' on each side of the lot and 25' from the rear of the lot. See page 23-25 for diagrams of typical large lots.

NOTE: The typical 25' setback in the rear of lots that abut the large drainage canal running North to South is an EASEMENT and owners may not have fences or buildings within that 25' easement. The drainage canal cannot be altered in any way that would impede water flow or create erosion.

SMALL LOTS

The first 11' 6" of property from the lot side edge of the curb is ENRCAMA property. The front lot line is 11' 6" from the lot side edge of the curb. Behind the front lot line there is a 10' setback. Each small lot also has a 7' Easement along the utility connection side of the lot, a 5' easement along the back of the lot and a 5' setback along the side opposite the utility connection side of the lot. On small back-to-back lots (lots 282 to 381) there is also an easement located 60' from, and parallel to the front lot line. See pages 26 and 27 for diagrams of typical small lots. NOTE: These are typical lot configurations and individual lots may vary depending on roads, drainage, or utility requirements.

RULES FOR LOT SITTERS AND GUESTS

These rules are specifically directed at protecting the lot owner from unauthorized use of a lot and to avoid trespass. Lot sitters may occupy a lot only when the lot owner is absent. If the lot owner of a large lot is present, they may have a guest with an RV reside on the lot for a total of 21 days per year. Guest stays are not permitted on small lots. The presence of a guest does not change the number of vehicles allowed on a lot.

Lot sitter permission forms are available at enrcama.com/files. Select “The Advisory Committee”, then select “FORM Lot Sitter Permission Form”. This form must be filled out entirely and signed by the lot owner. One copy shall be delivered by the lot owner or lot sitter to the North Ranch Campground Office. One copy shall be delivered by the lot owner or lot sitter to the North Ranch Advisory Committee drop box. This box is in the entry way of the Activity Center. Do not put it into the CAMA box! These copies shall be delivered on or before the date that Lot Sitting commences. The lot sitter shall also keep a copy of the Lot Sitter Permission Form at the lot, or the lot sitter may be asked to leave the property. The Lot Sitter Permission Form also includes a list of guidelines that must be followed.

RULES FOR LANDSCAPING, USE AND MAINTENANCE OF ROAD RIGHT OF WAY/UTILITY EASEMENT

Each lot has a strip of land owned by Escapees North Ranch Common Area Maintenance Association, Inc. between the street and the property line. These rules are designed to provide vision for traffic and safety for pedestrians. This strip begins at the lot side of the curb and extends 11'6" from the curb.

- A. Lot owners are responsible for the landscaping of this area and for beauty and prevention of erosion.
- B. The four feet closest to the lot side of the curb are to be landscaped with ground covers: rock, ground cover plants, curbing stones, gravel, driveways, and any other landscaping that will not be higher than 5 inches above the grade. Exceptions to this rule are reflective driveway markers.
- C. Between the front four feet (described in B.) and the owner's lot line, there may be landscaping items up to three feet high. Landscaping items include cactus, small shrubs, lawn ornaments, rocks, decorative gardens and ground covers.
- D. There may not be any type of fence in this 11'6" area, measured from the lot side of the curb. Partial, ornamental fences or chains that do not incorporate the Association's property into the adjacent lot and temporary fences to protect immature plants will not be considered a fence in the context of these rules. These items must follow the rules in C above and must not be so low as to present a tripping hazard and the lot owner must assume all liability associated with this or any other improvement. This does not relieve the lot owner of the CC&R requirement for providing adequate off-street parking.
- E. Lot owners are reminded that access to utilities located in these areas should be required and all costs associated with the removal and restoration of landscaping and/or other improvements are the responsibility of the lot owner (reference Article III, Item 3, of Declaration of Covenants, Conditions, and Restrictions for Escapees at North Ranch Subdivision.)

GUIDELINES FOR GRADING AND DRAINAGE

Lot owners are responsible to ensure proper drainage from the lot. On some lots it may be necessary to adjust the grade on the property to achieve proper drainage. If a lot requires adjustment, a VARIANCE request must be submitted to the Advisory Committee with the following provisions:

- a) All lots must drain to the street.
- b) No lot may drain any portion of the lot into any ditch.
- c) Drainage may not be diverted onto other lots in the subdivision.
- d) Grades may be adjusted to compensate for drainage problems. Neighboring lots may not be adversely affected. An agreement with adjoining lot owners must be obtained and submitted to the Advisory Committee in writing.
- e) Fences erected in conjunction with grading and drainage adjustments must be within the four (4) foot height limit as outlined in the architectural controls established for North Ranch.
- f) Erosion control is the responsibility of the lot owner.

It is the responsibility of the lot owner or lot owner's agent to work closely with the North Ranch Advisory Committee to ensure that all requirements are followed.

LOT OWNERS' CONTRACTOR GUIDELINES

The Lot Owner is responsible for the actions of people who have been contracted to perform work on their property. As a minimum the Lot Owner must ensure the contractors are aware of the following:

The lot owner should inform the contractor of setbacks and easements and make certain they are aware that construction is prohibited by the CC&Rs in these areas.

SPEED LIMIT: The RV Park speed limit is 10 MPH. In the subdivision, the speed limit is 20 MPH.

RAINBOW PARKS, INC. PROPERTY: North Ranch encompasses land that is owned by Rainbow Parks, Inc. (RPI) and does not belong to the lot owners. This land may not be used to store construction materials or vehicles or to dump dirt or debris without prior permission from RPI.

USE OF OTHER PROPERTY: Contractors may not use any lot for any purpose without prior written permission from the lot owner.

DAMAGE: The contractor will be solely and totally responsible for the repair of any damage caused by contractor's employees or equipment to streets, curbs, other lots, etc.

NOISE: Contractors may not create excess noise beyond normal construction noise. For example, loud music is not permitted.

PETS: If contractors bring pets into North Ranch and allow them outside their vehicle, they must keep them on a leash and clean up after them. No pet shall be allowed to become a nuisance.

GENERAL CONSTRUCTION GUIDELINES

Before beginning any construction, please review this entire document. The North Ranch Advisory Committee will be happy to assist you to help ensure that your project meets our requirements. Although we have some knowledge of Yavapai County requirements, we are not always able to be current on all county requirements. For this reason, it is incumbent upon each lot owner to contact Yavapai County Development Services regarding any construction projects. It is the responsibility of the lot owner to ensure that any project complies with current Yavapai County regulations. All projects must be approved by the North Ranch Advisory Committee and any necessary permits obtained before construction is started. In cases where a Yavapai County Building Permit is required, the county may not issue a permit without prior approval from the North Ranch Advisory Committee. If the North Ranch Advisory Committee believes that a project is not in compliance with Yavapai County requirements, we may verify compliance with Yavapai County.

If you are building a fence or structure on or near a property line or setback, it is the lot owner's responsibility to determine exactly where the property lines are. We may be able to help with general information but sometimes a survey will be required.

For any questions regarding electric service, please contact APS (Arizona Public Service).

Yavapai County Development Services
APS

928-771-3214
602-371-7171 or 800-243-9405

SOLAR PANELS

Solar panels installed on existing roof structures are subject to the following regulations. Roof mounted solar panels may not cause the height of the structure to exceed the maximum allowable height of 18'. If the panels overhang the existing roof, they must be included in the calculation of allowable coverage on the lot. Ground mounted solar panels will be included in the calculation of allowed coverage on the lot. Grid-tied solar systems must be installed by a licensed contractor or under permit from Yavapai County.

SMALL LOT DEVELOPMENT PLAN

A Lot Development Plan is required for any alteration or change desired on a lot, to include, but not limited to, concrete slabs, patio cover, RV cover, park model home, Arizona room, fence, etc. If in doubt, please talk to an Advisory Committee member before proceeding. You may contact the Advisory Committee at: enradvisory@gmail.com

The lot sketches (pages 26 and 27) are provided for your convenience. However, the sketch may not conform to your exact lot specifications and may have to be adapted. Note any variations of your actual lot on the sketch. You may use the sample sketches that we have provided to draw your plan. Or you may use our drawings as a guide to make your own drawing.

Following is a list of items that are required to be included in a Lot Development Plan for initial development. If there are existing structures on a lot that have already been approved, and you only want to make an addition, we may not require all the following for a supplemental plan. Please contact us regarding our requirements.

1. Name, Lot Number, and telephone number.
2. Lot dimensions on all sides. Street side lot lines start 11 feet 6 inches from the lot side edge of the curbing.
3. Indicate scale used.
4. Indicate North with directional arrow.
5. Show a detailed drawing of all structures, existing or planned. It must show all pertinent information including, but not limited to overall length, height, width, length of overhang, distance of separation between structures, type of materials used for construction, type of roofing, type of siding, number of rooms (lots are restricted to single bedroom residences), and a simple floor plan.
6. Show distances between structures.
7. Show distances from all structures to property lines.
8. State description of each structure's use.
9. Show adjacent streets and roads.
10. Show driveways, pathways, etc. and material used (e.g. gravel, concrete, etc.)
11. Show location of all utilities, poles, meters, and lines.
12. Show all easements and setbacks, regardless of purpose (e.g. roads, utilities, etc.)
13. Show drainage which must be to street only.

14. Show distance from the closest structure to the top of bank of any watercourse.
15. Indicate total covered square feet (maximum of 1070 square feet on small lots).
16. Antennas: Show height, size, style, and location, including types of masts.
17. Color schemes: Any earth tone color is acceptable and needs no formal approval. The same applies to factory applied colors on manufactured units. Other colors must be submitted for review by the Advisory Committee.

On small lots, fences, windbreaks, walls, etc. adjacent to a patio and not in the setback areas, will not be bound by guidelines established for fences, i.e., four (4) foot height limit, providing any solid portion is no higher than the fence limit of 48" above grade level (if there is a raised deck 54" will be allowed).

On small lots, RVs used as residence units may not encroach on the rear or side utility easements, i.e., any RV with slideouts/tipouts must be parked so they do not overhang utility easements.

On small lots, a maximum of 1,070 square feet of covered area is allowed.

On small lots, vehicles may be parked under part of the patio cover. But freestanding carports are not allowed since they violate the CC&Rs which allow only "a patio cover and / or RV sun shelter on the lot."

After completing your Lot Plan, you may submit it by placing it in the Lot Plan Review In Box which is located just inside the Activity Center entrance on the left. If you have spoken with an Advisory Committee member you may submit the plan to them. We will examine your plan and contact you if we need further information. It is our goal to help you have a successful project while following all applicable guidelines. Please keep in mind that all Advisory Committee members are volunteers and many of us travel during the summer months. During the summer months, we strongly encourage you to be in contact with us via email so that we can provide prompt attention.

ARCHITECTURAL CONTROL GUIDELINES

SMALL LOTS

TYPES OF FENCING: All posts and supporting structures shall be on the lot owner's side of the fence. Restrictions are as itemized below.

HEIGHT OF FENCING: Maximum of 4 feet.

LOCATION OF FENCING: On the lot line or within. Fences on lot line require written approval of adjacent owner and must contain an agreement as to who will be responsible for upkeep or repair of fence. A copy of this agreement must be provided to the Advisory Committee.

BUILDING MATERIALS FOR RETAINING WALLS: Normal materials used in standard building codes will be approved. Type of material to be used must be specified on Lot Development plan.

RETAINING WALLS - MAXIMUM HEIGHT: Retaining walls height exceeding two (2) feet must be reviewed on an individual basis.

LANDSCAPING: No restriction on types of landscaping foliage, however, use of native plants is highly encouraged.

COLOR SCHEME: Any earth tone colors are acceptable and need no formal approval. The same applies to factory applied colors on manufactured units. Other colors must be submitted for review by the Advisory Committee

ANTENNAS: TELEVISION AND RADIO - TRANSMITTING OR RECEIVING: Maximum height of twenty (20) feet above grade. Height and location must be included on Lot Development plan. **NOTE:** If radio transmitting or receiving causes local interference, the offending problem must be corrected by the user by either ceasing operation or supplying adequate filters to those who experience such signal interference.

SATELLITE DISHES: Large dishes will be allowed if already installed. Replacements must be no larger than one meter. Antennas are not allowed in setbacks and should be positioned near the rear of the lot.

HEIGHT RESTRICTIONS: Patio covers are limited to a height of twelve (12) feet above grade level.

Sun Shelter –Must be determined on an individual basis but may not exceed eighteen (18) feet in height above grade level.

CONSTRUCTION MATERIALS FOR PATIO COVERS AND SUN SHELTERS:

Wood structures or factory non-glare painted steel, factory non-glare painted aluminum, or vinyl with composition roofs or factory non-glare painted metal.

SHEDS: Each small lot was initially provided with a 10' x 12' shed. Per the CC&Rs, "no additions, either permanent or temporary may be made to the exterior of the shed on this lot". No additional sheds may be installed on the lot.

BUILDING SEPARATION: Buildings must be separated by a minimum distance of 5' wall to wall, 3' eave to eave, or attached.

RV SUN SHELTER WALLS: Walls may not be installed lower than 80" above ground level. Sunscreen fabric lower than 80" above ground level may be installed on no more than 50% of the length of any side.

INTERPRETATIONS OF THE ARCHITECTURAL GUIDELINES

In general, if there is a conflict between the CC&R's and Yavapai County Zoning Regulations, the more restrictive of the two rules will apply.

Fences and walls approved for construction must be inset on the lot owner's side of the property line unless the adjoining property owners agree in writing to have a joint boundary fence/wall.

Fences/walls on property lines adjacent to Rainbow Parks, Inc. property may be centered on the property line if the property owner bears full expense for the construction and maintenance of said fence/wall.

All power transformers must have two (2) feet clearance on all sides. Decorative rock that is not a tripping hazard is permitted. River rock is not acceptable. Under no circumstances block the transformer door opening.

GUIDELINES FOR EASEMENT OR SETBACK ENCROACHMENTS

No structure (other than fences) shall be located where it encroaches upon or reduces any easement or setback except:

- 1) Cornices, eaves and coolers may project no more than three (3) feet into any required easement or setback.
- 2) Sills, leaders, belt course (and similar ornamental features), and chimneys, may project two (2) feet into any required easement or setback.
- 3) A bay window, or oriel, (not exceeding a ten (10) foot width) may project 18" into any required front, or rear, easement or setback.

ARIZONA ROOMS

Arizona Rooms are permitted at North Ranch but must be attached to, but not supported by, a park model or an RV. All conditions of the Yavapai County building codes and the North Ranch CC&Rs, and the Community Guidelines must be met. As of the date of the revision of this document, Yavapai Building Safety Unit Policy PB-19 applies. A copy of PB-19 is on pages 30 and 31. It is always necessary for the lot owner to determine the current requirements for any project.

NOTE: Existing, approved, screen rooms, which currently meet the "50% open space area" allowed under the original screen room criteria, are grandfathered for insect-screen covering only. If an owner desires to upgrade to an "Arizona Room" it will be necessary to submit a revised Lot Development plan for Advisory Committee review. The new Lot Development plan must show how present walls have been changed to meet the required 65% open area, and any other adjustments necessary to meet the Yavapai County Ordinance.

To add an "Arizona Room" to your park model or RV requires a Lot Development plan must be submitted to the Advisory Committee. The Lot Development plan must include all information indicated on pages 10 & 11 of this document and show wall elevations indicating the 65% of open area as required by Policy PB-19.

Additionally, if a furnace, gas water heater, or other device exhausts or vents into the "Arizona Room" area, Yavapai County building codes for safe, correct venting to the exterior of the structure must be complied with.

"Arizona Rooms" are limited to a maximum of 250 square feet.

LARGE LOT DEVELOPMENT PLAN

A Lot Development Plan is required for any alteration or change desired on a lot, to include, but not limited to, concrete slabs, patio cover, RV cover, manufactured home, site-built home, park model home, fence, etc. If in doubt, talk to an Advisory Committee member before proceeding. You may contact the Advisory Committee at: enradvisory@gmail.com

The attached lot sketches are provided for convenience (pages 23- 25). However, the sketch may not conform to your exact lot specifications and may have to be adapted. Note any variations of your actual lot on the sketch. You may use the sample sketches that we have provided to draw your plan, or you may use our drawings as a guide.

Structures may not cover more than 50% of the buildable area. The buildable area is defined as the portion of the lot within the setbacks. Large lot owners should consider possible future lot development needs to ensure the 50% restriction will not be exceeded. Allowable coverage is shown in the tables on pages 28 & 29.

Following is a list of items that are required to be included in a Lot Development Plan for initial development. If there are existing structures on a lot that have already been approved, and you only want to make an addition, we may not require all the following for a supplemental plan. Please contact us regarding our requirements.

1. Name, Lot Number, and telephone number.
2. Lot dimensions on all sides. Street side lot lines start 11 feet 6 inches from the lot side edge of the curbing.
3. Indicate scale used.
4. Indicate North with directional arrow.
5. Show a detailed drawing of all structures, existing or planned. It must show all pertinent information including, but not limited to overall length, height, width, length of overhang, distance of separation between structures, type of materials used for construction, type of roofing, type of siding, number of rooms (lots are restricted to single bedroom residences), and a simple floor plan.
6. Show distances between structures.
7. Show distances from all structures to property lines.
8. State description of each structure.
9. Show adjacent streets/roads.

10. Show driveways, pathways, etc. and material used (i.e. gravel, concrete, etc.)
11. Show location of all utilities, poles, meters and lines.
12. Show all easements and setbacks, regardless of purpose (i.e., roads, utilities.)
13. Show drainage (must be toward street).
14. Show distance from the closest structure to the top of bank of any watercourse.
15. Show calculations for covered area. Example:

House 50' x 30' =	1500. Sq. Ft.
Shed 20' x 24' =	480. Sq. Ft.
Covered Patio 10' x 12' =	<u>120 Sq. Ft.</u>
Total	2100 Sq. Ft Covered Area
16. Show fences and retaining walls (height and length).
(For landscaping of the first 11 Feet 6 inches from the curb, which is
Common Area Maintenance Association, Inc. property, see page 5, for
landscape rules.)
17. Antennas: Show height, size, style, and location, including types of masts
18. Color schemes: Earth-tones are strongly recommended.

After completing your Lot Plan, you may submit it by placing it in the Lot Plan Review In Box which is located just inside the Activity Center entrance on the left. If you have been speaking with an Advisory Committee member you may submit the plan to them. We will examine your plan and contact you if we need further information. It is our goal to help you have a successful project while following all applicable guidelines. Please keep in mind that all Advisory Committee members are volunteers and many of us travel during the summer months. During the summer months, we strongly encourage you to be in contact with us via email so that we can provide prompt attention.

ARCHITECTURAL CONTROL GUIDELINES

LARGE LOTS

TYPES OF FENCING: No restrictions. All posts and supporting structure shall be on the lot owner's side of the fence.

HEIGHT OF FENCING: Maximum height of four (4) feet.

LOCATION OF FENCING: On the lot line or within. Fences on lot lines require written approval of adjacent owner and must contain an agreement as to who will be responsible for upkeep or repair of fence. A copy of this agreement should be kept in the Advisory Committees lot files.

BUILDING MATERIALS FOR RETAINING WALLS: Normal materials used in standard building codes will be approved. Indicate type of material to be used on Lot Development plan.

RETAINING WALLS - MAXIMUM HEIGHT: Retaining walls with height exceeding two (2) feet must be reviewed on an individual basis.

LANDSCAPING: No restriction on types of landscaping foliage; however, use of native plants is highly recommended.

COLOR SCHEME: Any earth-tone colors are acceptable and need no formal approval. The same applies to factory applied colors on manufactured units.

Other colors must be submitted for review by the Advisory Committee.

ANTENNAS: TELEVISION AND RADIO - TRANSMITTING OR RECEIVING:

Maximum height of twenty (20) feet above grade. Height and location must be included on Lot Development plan. Antenna may be positioned at any point on lot with the exception it may not be closer than five (5) feet from any lot line.

NOTE: If radio transmitting or receiving causes local interference, the offending problem must be corrected by the user by either ceasing operation or supplying adequate filters to those who experience such signal interference.

SATELLITE DISHES: Larger dishes will be allowed if already installed.

Replacements must be no larger than one meter. Antennas are not allowed in setbacks and should be positioned near the rear of the lot.

HEIGHT LIMITS FOR ANY STRUCTURE: Maximum height of eighteen (18) feet above grade level.

CONSTRUCTION MATERIALS FOR PATIO COVERS AND SUN SHELTERS:

Wood structures or factory non-glare painted steel, factory non-glare painted aluminum or vinyl with composition roofs or factory non-glare painted metal.

PROPANE TANKS: Propane tanks are not allowed in setbacks or in area between house and street. For size and locations, see pages 12-14.

ACCESSORY BUILDINGS: On large lots NOT adjacent to the Main Ditch which runs North to South between Meandering Lane and Wandering Way, a portable accessory building may be placed within the rear setback. The portable storage building shall be no closer than 5' from the rear lot line and shall not encroach into the side setbacks. The portable building shall be built off-site and delivered to the site fully assembled or built on site but designed to be easily movable. The portable building shall not be equipped with utilities other than electricity and may not be habitable. The portable building shall be counted in the allowable lot coverage, the same as any other structure.

BUILDING SEPARATION: Buildings must be separated by a minimum distance of 5' wall to wall, 3' eave to eave, or attached.

INTERPRETATIONS OF THE ARCHITECTURAL CONTROL GUIDELINES

In general, if there is a conflict between the CC&Rs and Yavapai County Zoning Regulations, the more restrictive of the two rules will apply.

Fences and walls approved for construction must be inset on the lot owner's side of the property line unless the adjoining property owners agree in writing to have a joint boundary fence/wall.

Fences/walls on property lines adjacent to Rainbow Parks, Inc. property may be centered on the property line if the property owner bears full expense for the construction and maintenance of said fence/wall.

Any landscaping or driveways on the road right of way between the property line and the curb must have at least a two (2) inch conduit buried under it. The conduit will be six (6) feet back from the curb and at least fifteen (15) inches deep. NOTE: The requirement for this conduit is waived if the landscaping is such a ditcher can run through it. Detailed guidelines concerning landscaping are on page 5 of this pamphlet.

All power transformers must have two (2) feet clearance on all sides. Decorative rock that is not a tripping hazard is permitted. River rock is not acceptable. Under no circumstances block the transformer door opening.

On large lots, fences, windbreaks, walls, etc., adjacent to a patio or courtyard and within the buildable area will not be bound by guidelines established for fences, i.e., four (4) foot height limit.

GUIDELINES FOR EASEMENT OR SETBACK ENCROACHMENT

No structure other than fences shall be located to encroach upon or reduce any easement or setback except:

- 1) Cornices, eaves and coolers may project no more than three (3) feet into any required easement or setback.
- 2) Sills, leaders, belt course (and similar ornamental features), and chimneys, may project two (2) feet into any required easement or setback.

FRONT OR REAR EASEMENT OR SETBACK ENCROACHMENTS. A bay window or oriel (not exceeding a ten (10) foot width) may project 18" into any required front or rear easement or setback.

GUIDELINES FOR CONSTRUCTION OF WALLS (LARGE LOTS ONLY)

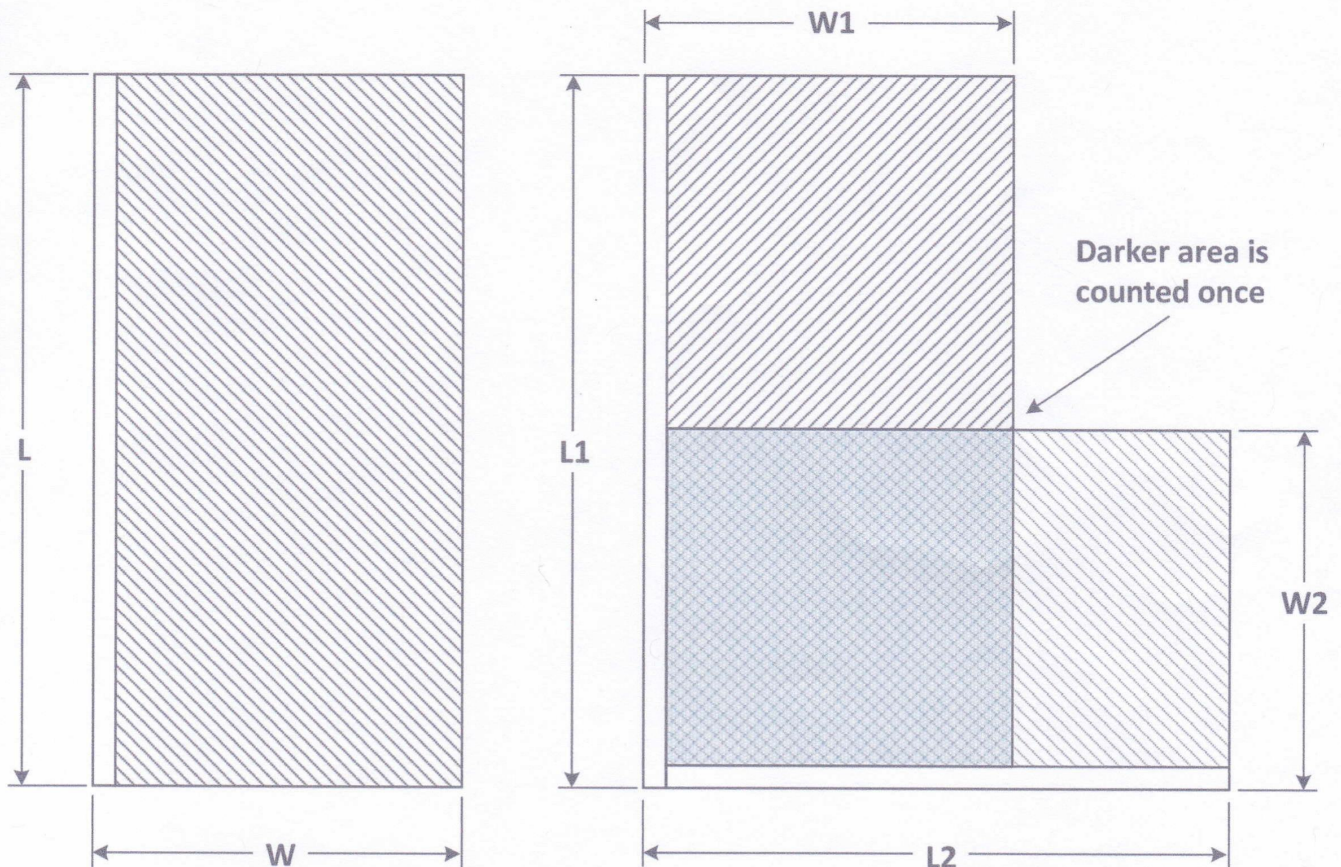
Fences, windbreaks, walls, etc., within the buildable area of a lot need not be bound by the guidelines for fences (e.g. four (4) feet maximum height). However, any such structure, over four (4) feet in height, must be factored into the total of covered area on the lot. Any such structure shall conform to all building codes of Yavapai County.

The “cost in area covered” for any wall over four (4) feet in height is the area of the rectangle defined by the wall as one side (the length) and the perpendicular side (the width) which shall be one half of the length of the wall. Thus, a wall 10’ long would be computed as 10’ x 5’, or 50 square feet.

The width of the freestanding wall is never calculated as greater than eight (8) feet. So if a wall is 20’ long, it would be computed as 20’ x 8’, or 160 square feet.

If more than one wall is desired, then each wall “costs” the area of its rectangle. However, if two or more rectangles overlap, the overlapping area is counted only once.

In addition, if the walls define a definite area, then the “cost” of the walls is the greater of this definite area, or the area defined by the rectangles associated with the walls.



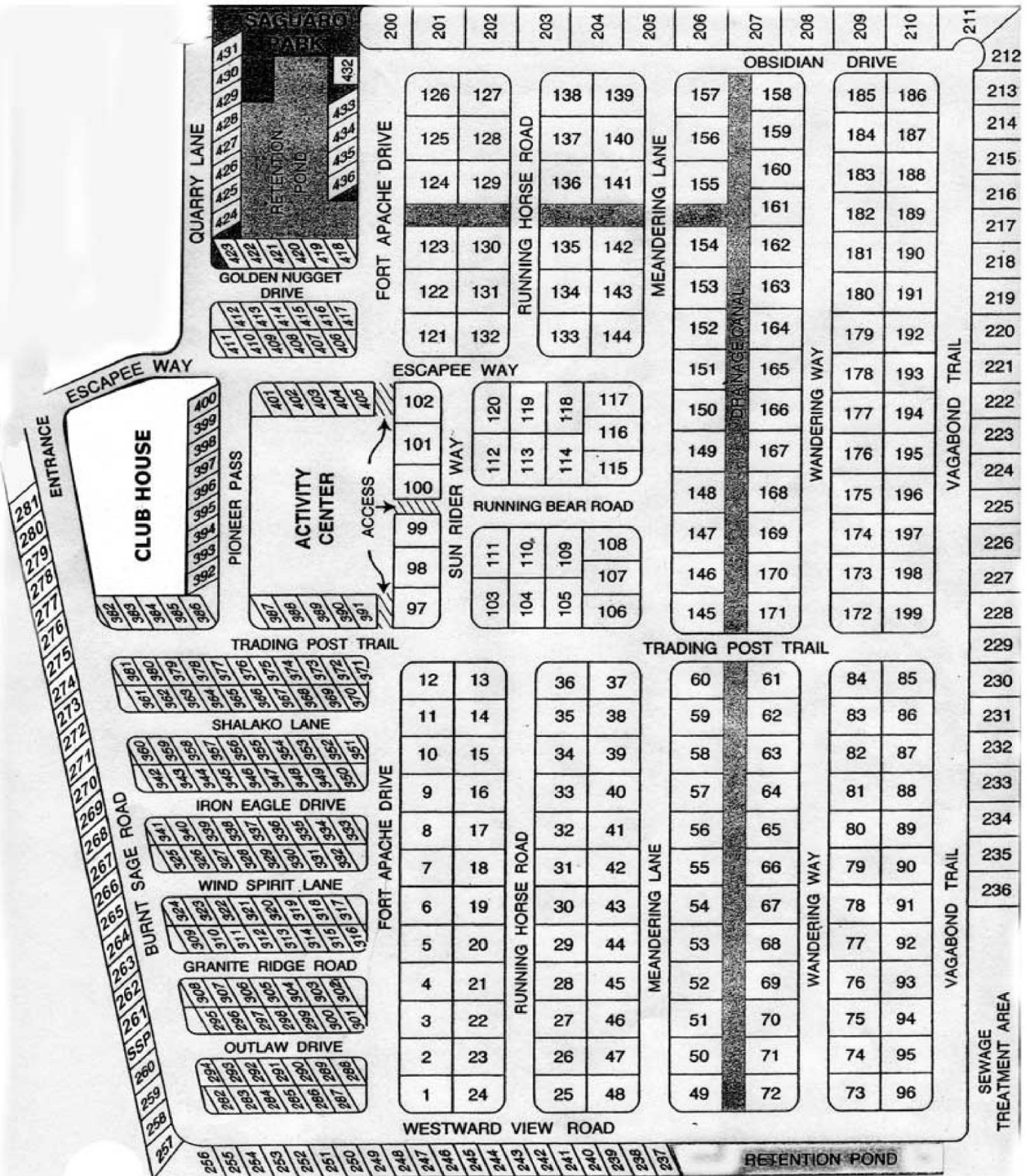
The Care and Feeding of your Septic System

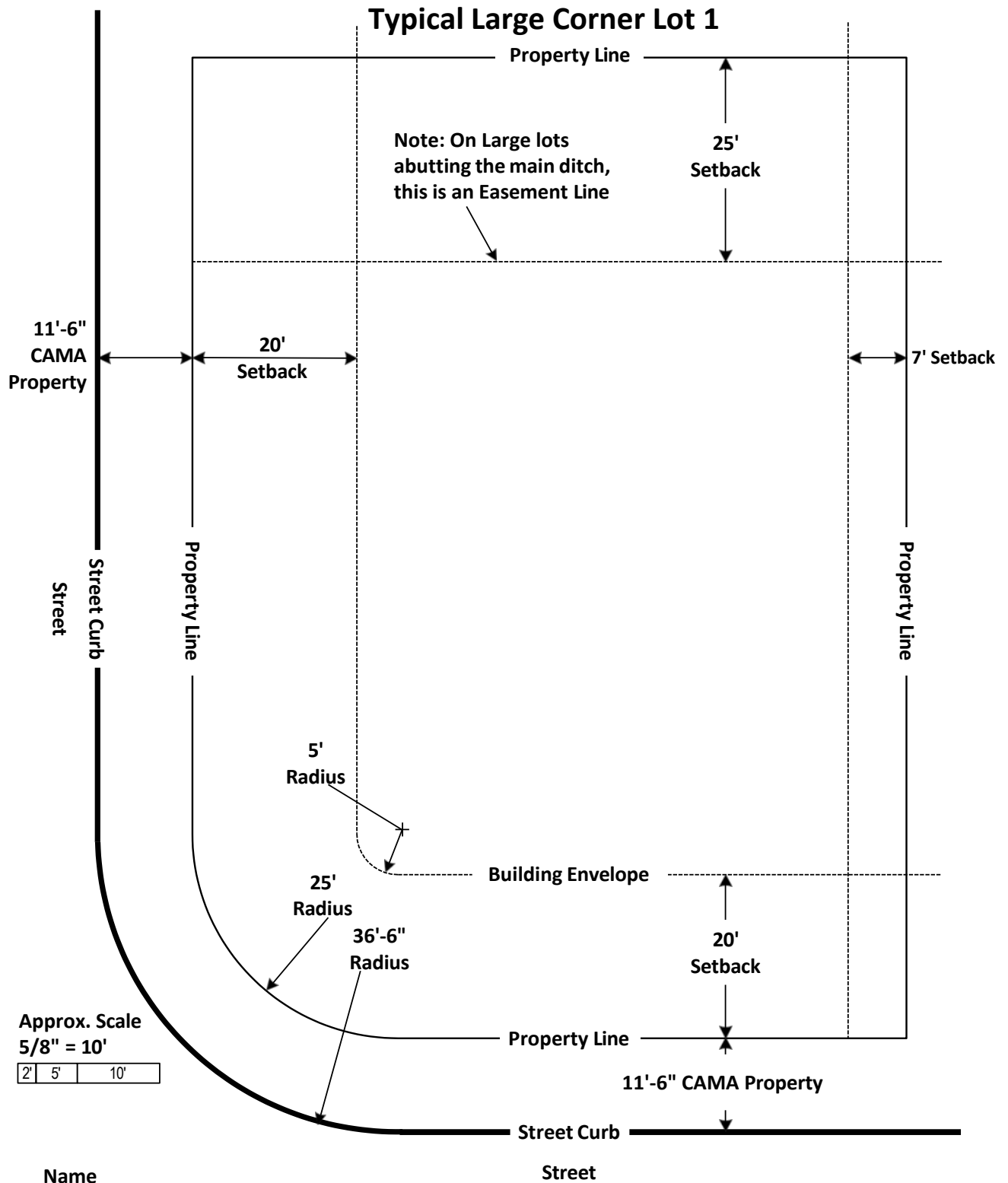
The septic system at North Ranch has been designed for our community, since we are not eligible to be part of a municipal sewage system. It works by allowing wastewater to separate into layers and begin the process of decomposition while being contained within the septic tank. Bacteria, which are naturally present in all septic systems, begin to digest the solids that have settled to the bottom of the tank, transforming up to 50 % of these solids into liquids and gases. When liquids within the tank rise to the level of the outflow pipe, they enter the drainage system. Our drainage system moves the liquid or effluent from our septic tanks down to the treatment plant at the corner of Vagabond Trail and Westward View Road.

Because we share tanks with our neighbors, we need to be acutely aware of what to put down our plumbing. In the spirit of Escapees and to prevent backups for you and your neighbors, these suggestions are offered:

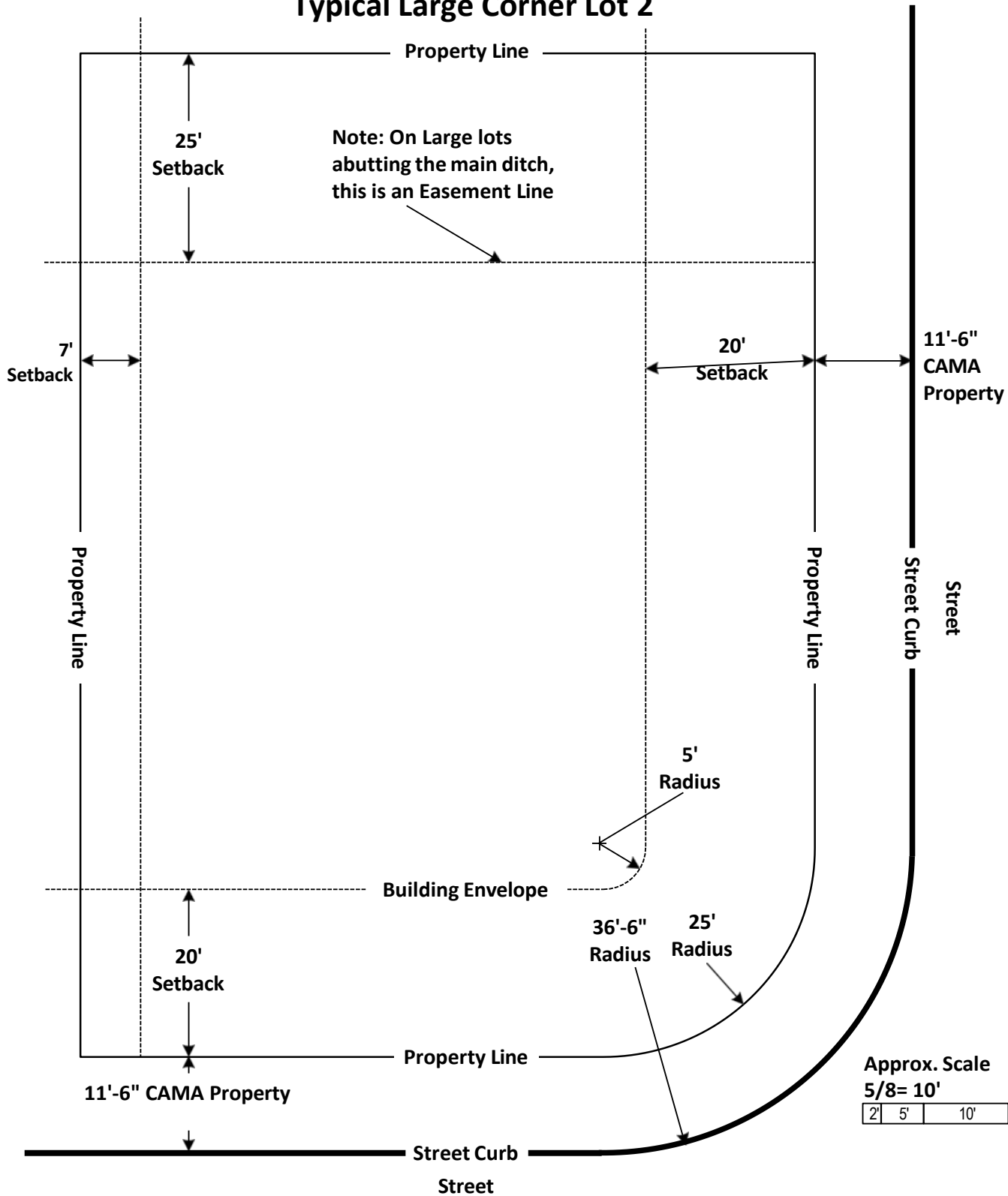
- Normal amounts of household detergent and other household chemicals can be used and won't stop the bacterial action in the septic tank. But don't use excessive amounts of household chemicals.
- Do NOT use chlorine bleach or caustic drain cleaners. They can destroy the chemical balance of the tank.
- Don't deposit the following items: coffee grounds, eggshells, cooking fats, wet-strength towels, disposable diapers, facial tissues, cigarette butts, feminine products or any other non-decomposable materials into any of your drains or toilets. These materials WILL NOT decompose and will fill the septic tank and plug up the system.
- If you have a garbage disposal, USE IT VERY LIGHTLY. It adds to that accumulation of solids. Examples of offenders here would be eggshells, banana peels, potato and onion skins. Use the trash can instead.
- Dumping grease down the drain will plug sewer pipes and build up in the septic tank. Keep a separate can for waste grease and throw it out with the garbage.
- Use of additives such as RID-X ARE NOT RECOMMENDED by the websites we researched. Only chemicals that state they are safe for an "aerobic system" may be used. However, the most effective method of breaking down the solid matter in the sewage is by allowing the naturally present bacteria to digest it.
- Educate your guests to the fact that we are on a sewer system and give them a copy of this.

Note: The large lot owner's responsibility for maintenance is from your drains to the septic tank. The small lot owner's responsibility is from your drain to the trunk sewer line leading to the Septic Tank. North Ranch Utilities' responsibilities begin at the septic tank and/or trunk line and extends to the water treatment plant.





Typical Large Corner Lot 2



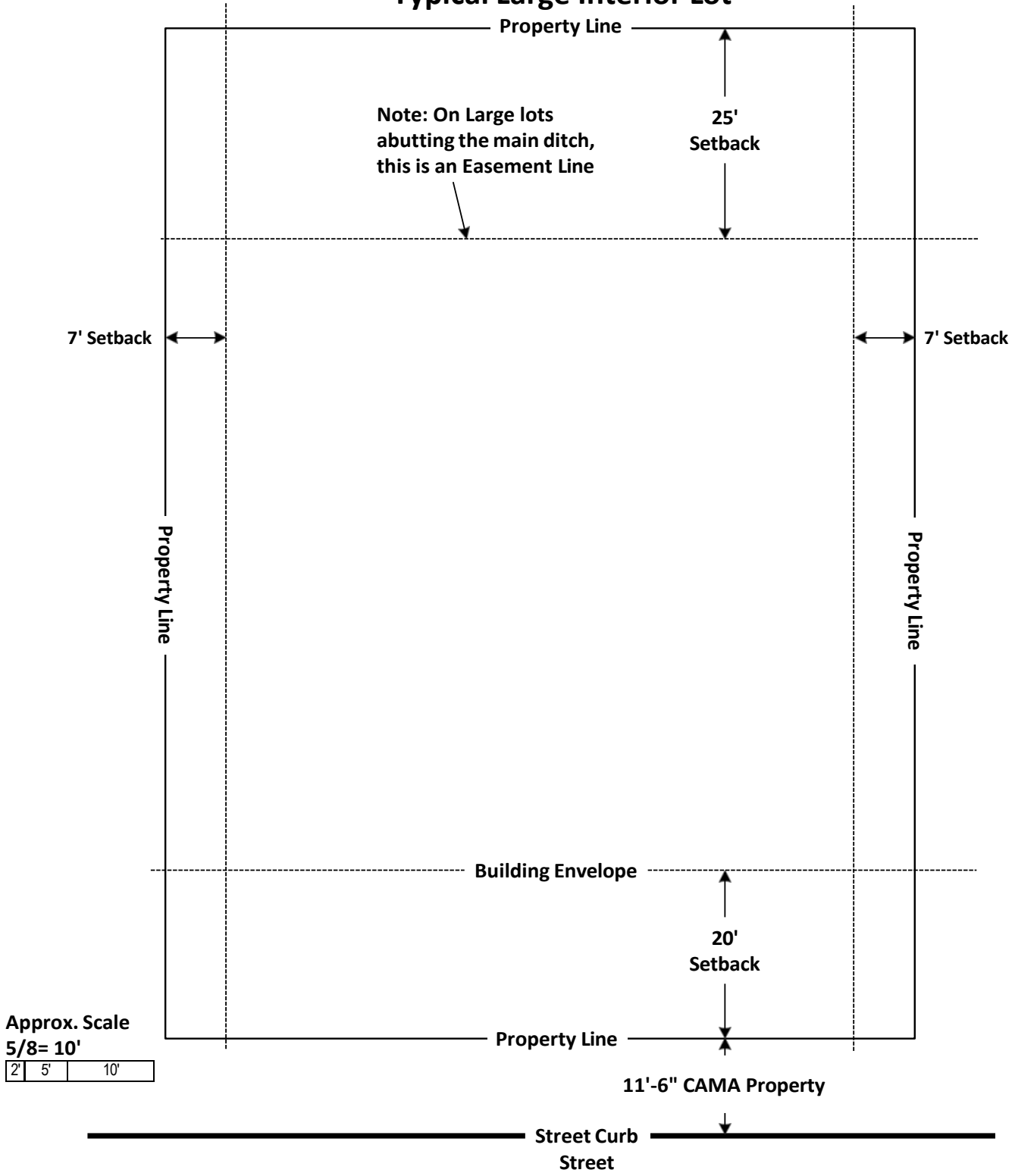
Name _____

Lot # _____

Date _____

- _____ Lot Line Setback Line
- Easement Line
-

Typical Large Interior Lot



Approx. Scale
5/8" = 10'

2'	5'	10'
----	----	-----

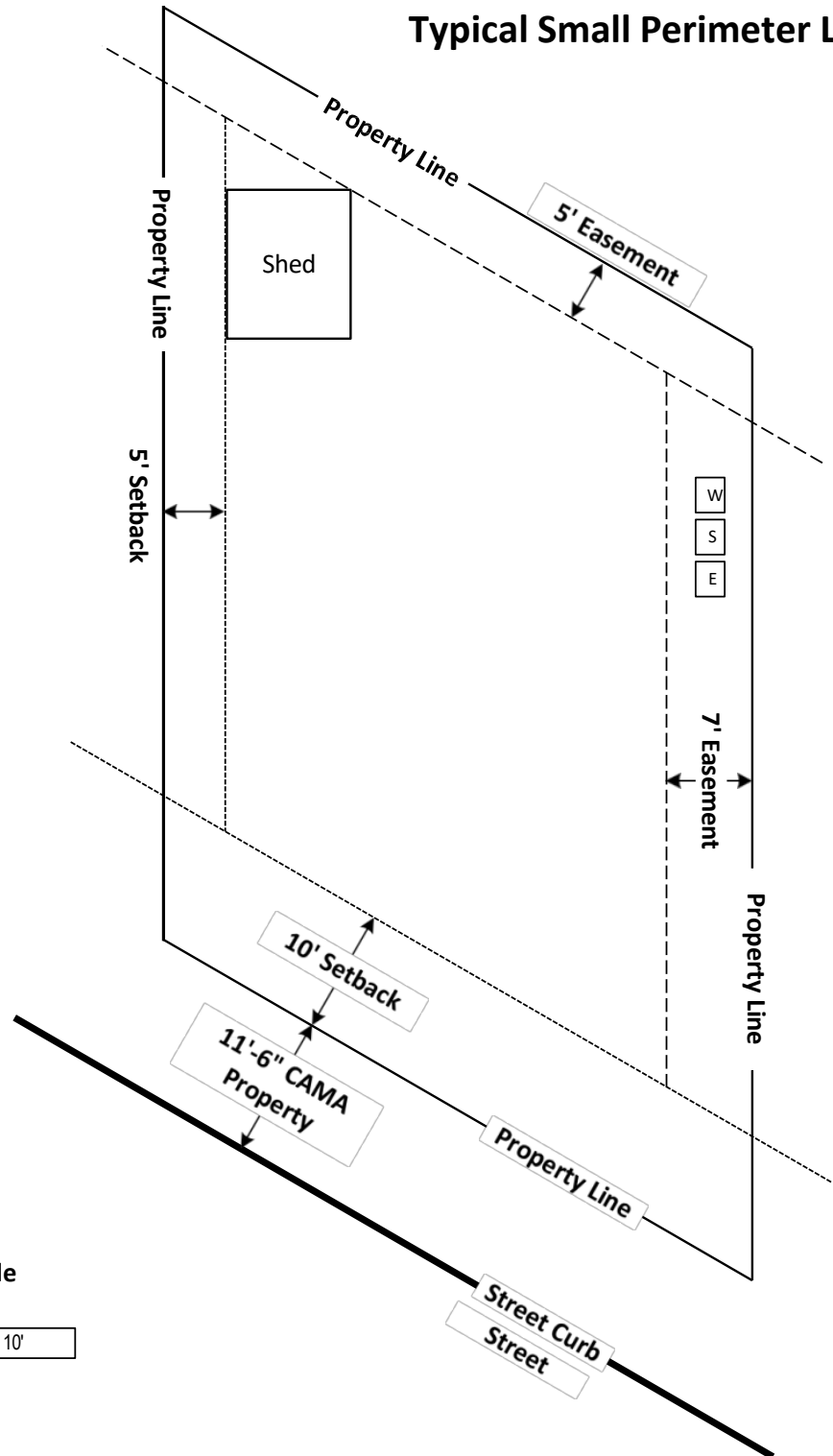
Name _____

Lot # _____

Date _____

- Lot Line
- Setback Line
- - - - - Easement Line

Typical Small Perimeter Lot



Approx. Scale
3/4" = 10'

2'	5'	10'
----	----	-----

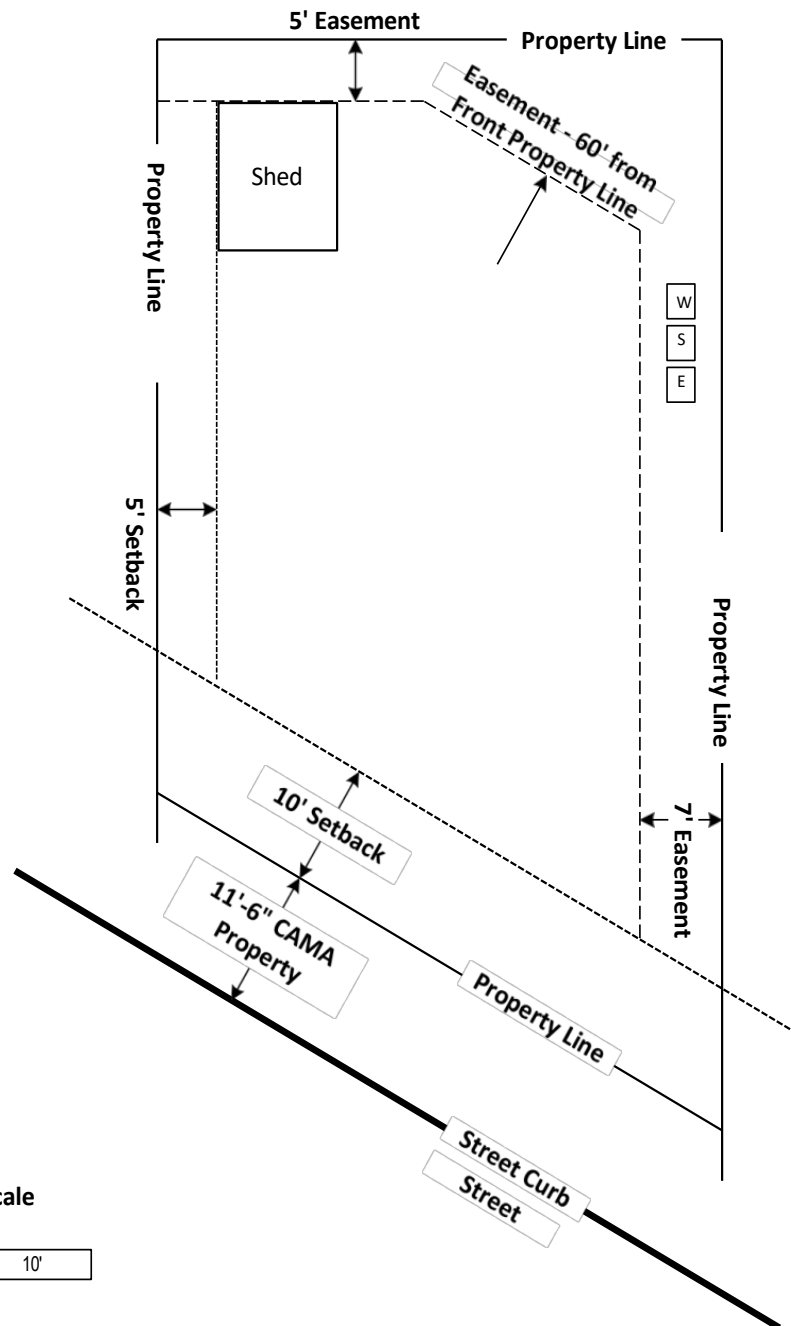
Name _____

Lot # _____

Date _____

- _____ Lot Line
- Setback Line
- Easement Line

Typical Small Interior



Approx. Scale
 $3/4" = 10'$

2'	5'	10'
----	----	-----

Name _____

Lot # _____

Date _____

Lot Line

Setback Line

Easement Line

ALLOWED LOT COVERAGE IN NORTH RANCH

See Note	Lot Number	Depth	Width	Area After Setbacks	Corner Adjust	Irregular Adjust	Buildable Area	Allowed Coverage
	1	120.000	86.750	4481.250	5.365		4475.885	2237.943
	2-11	120.000	85.650	5373.750			5373.750	2686.875
	12-13	120.000	86.750	4481.250	5.365		4475.885	2237.943
	14-23	120.000	85.650	5373.750			5373.750	2686.875
	24-25	120.000	86.750	4481.250	5.365		4475.885	2237.943
	26-35	120.000	85.650	5373.750			5373.750	2686.875
	36-37	120.000	86.750	4481.250	5.365		4475.885	2237.943
	38-47	120.000	85.650	5373.750			5373.750	2686.875
	48	120.000	86.750	4481.250	5.365		4475.885	2237.943
	49	134.710	86.750	5360.173	5.365		5354.808	2677.404
	50-59	134.710	85.650	6427.722			6427.722	3213.861
	60-61	134.710	86.750	5360.173	5.365		5354.808	2677.404
	62-71	134.710	85.650	6427.722			6427.722	3213.861
	72	134.710	86.750	5360.173	5.365		5354.808	2677.404
	73	120.000	86.750	4481.250	5.365		4475.885	2237.943
	74-83	120.000	85.650	5373.750			5373.750	2686.875
	84-85	120.000	86.750	4481.250	5.365		4475.885	2237.943
	86-95	120.000	85.650	5373.750			5373.750	2686.875
	96	120.000	86.750	4481.250	5.365		4475.885	2237.943
1	97	112.000	100.810	4945.270	5.365	161.812	4778.093	2389.047
	98-99	112.000	95.830	5482.610			5482.610	2741.305
	100-101	112.000	95.830	5482.610			5482.610	2741.305
	102	108.000	100.810	4650.030	5.365		4644.665	2322.333
	103	112.480	84.660	3890.897	5.365		3885.532	1942.766
	104-105	137.480	83.670	6443.082			6443.082	3221.541
	106	120.000	92.030	4877.250	5.365		4871.885	2435.943
	107	120.000	90.900	5767.500			5767.500	2883.750
	108	120.000	92.040	4878.000	5.365		4872.635	2436.318
	109-110	137.490	83.670	6443.778			6443.778	3221.889
	111-112	137.490	84.660	5332.973	5.365		5327.608	2663.804
	113-114	137.490	83.670	6443.778			6443.778	3221.889
	115	120.000	92.040	4878.000	5.365		4872.635	2436.318
	116	120.000	90.900	5767.500			5767.500	2883.750
	117	120.000	92.030	4877.250	5.365		4871.885	2435.943
	118-119	137.480	83.670	6443.082			6443.082	3221.541
	120	137.480	84.660	5332.397	5.365		5327.032	2663.516
	121	120.000	95.340	5125.500	5.365		5120.135	2560.068
	122-125	120.000	94.200	6015.000			6015.000	3007.500
	126-127	120.000	95.340	5125.500	5.365		5120.135	2560.068
	128-131	120.000	94.200	6015.000			6015.000	3007.500
	132-133	120.000	95.340	5125.500	5.365		5120.135	2560.068
	134-137	120.000	94.200	6015.000			6015.000	3007.500
	138-139	120.000	95.340	5125.500	5.365		5120.135	2560.068
	140-143	120.000	94.200	6015.000			6015.000	3007.500
	144	120.000	95.340	5125.500	5.365		5120.135	2560.068
	145	134.710	93.350	5952.259	5.365		5946.894	2973.447
	146-154	134.710	93.370	7120.283			7120.283	3560.141
	155-156	134.710	94.200	7194.742			7194.742	3597.371
	157	134.710	95.340	6130.781	5.365		6125.416	3062.708
	158	134.710	91.490	5785.398	5.365		5780.033	2890.016
	159-170	134.710	90.370	6851.153			6851.153	3425.576
	171	134.710	91.490	5785.398	5.365		5780.033	2890.016
	172	120.000	91.490	4836.750	5.365		4831.385	2415.693
	173-184	120.000	90.370	5727.750			5727.750	2863.875
	185-186	120.000	91.490	4836.750	5.365		4831.385	2415.693

See Note	Lot Number	Depth	Width	Area After Setbacks	Corner Adjust	Irregular Adjust	Buildable Area	Allowed Coverage
	187-198	120.000	90.370	5727.750			5727.750	2863.875
	199	120.000	91.490	4836.750	5.365		4831.385	2415.693
2	200	110.025	105.670	5960.842			5960.842	2980.421
2	201	110.060	105.670	5964.050			5964.050	2982.025
2	202	110.095	105.670	5967.259			5967.259	2983.629
2	203	110.130	105.670	5970.467			5970.467	2985.234
2	204	110.165	105.670	5973.676			5973.676	2986.838
2	205	110.200	105.670	5976.884			5976.884	2988.442
2	206	110.235	105.690	5981.397			5981.397	2990.699
2	207	110.285	99.310	5569.463			5569.463	2784.732
2	208	110.315	99.310	5572.023			5572.023	2786.011
2	209	110.345	99.310	5574.582			5574.582	2787.291
3	210	110.360	99.310	5575.862			5575.862	2787.931
4	211							
4	212							
3	213	135.000	80.000	5940.000			5940.000	2970.000
	214-236	135.000	80.000	5940.000			5940.000	2970.000

Lot size was calculated by first reducing depth and width by the setbacks. The product of the reduced dimensions was further reduced by a corner adjustment and an irregular adjustment if required to arrive at the buildable area. The allowed coverage is found by taking 1/2 of the buildable area.

Note 1: The irregular adjustment compensates for the triangle removed from the SW corner of the lot.

Note 2: These lots were calculated by using 1/2 of the sum of the two sides for the depth.

Note 3: The irregular adjustment for these lots was not calculated, but should be less than one square foot

Note 4: The calculation for these lots is extremely irregular and has not been made.

REQUIREMENTS FOR SUNROOMS

A Sunroom room is defined as: **“A one-story structure attached to a building with a glazing area in excess of 40 percent of the gross area of the structure’s exterior walls and roof.”** Other terms used for such rooms include “sunroom”, “year-round-room”, “solar room” “Arizona room”, etc. The term “Sunroom” is meant to include all of these.

Walls between a dwelling and a Sunroom may have operable windows and doors, but no open pass-through, arches or cased openings. Individual Sunrooms shall not exceed one story or a maximum of ten feet (10') in height. Enclosure walls shall be permitted to be of any configuration provided the open or glazed area of the longer wall and one additional wall is equal to at least sixty five percent (65%) of the area below a minimum of six feet eight inches (6' 8") of each wall, measured from the floor. Exterior doors from the Sunroom shall have a landing the width of the door and a minimum of thirty-six inches (36") out from the door. All stairs and elevated landings more than thirty inches (30") above finished grade shall meet the requirements of sections R311 and R312 of the 2018 IRC.

Specifications:

Glazing shall meet the requirements of the 2018 IRC, Section R308. The Sunroom must be constructed according to the 2018 IRC requirements, Appendix H and categories. The 5 categories are as follows:

Category I: A thermally isolated sunroom with walls that are open or enclosed with insect screening or 0.5 mm (20 mil) maximum thickness plastic film. The space is non-habitable and unconditioned.

Category II: A thermally isolated sunroom with enclosed walls. The openings are enclosed with translucent or transparent plastic or glass. The space is non-habitable and unconditioned.

Category III: A thermally isolated sunroom with enclosed walls. The openings are enclosed with translucent or transparent plastic or glass. The sunroom fenestration complies with additional requirements for air infiltration resistance and water penetration resistance. The space is non-habitable and unconditioned.

Category IV: A thermally isolated sunroom with enclosed walls. The sunroom is designed to be heated or cooled by a separate temperature control or system and is thermally isolated from the primary structure. The sunroom fenestration complies with additional requirements for water penetration resistance, air infiltration resistance and thermal performance. The space is non-habitable and conditioned.



Requirements for Sunrooms, cont:

Specifications, cont:

Category V: A sunroom with enclosed walls. The sunroom is designed to be heated or cooled and is open to the main structure. The sunroom fenestration complies with additional requirements for water penetration resistance, air infiltration resistance and thermal performance. The space is habitable and conditioned.

* The continuous footing around the perimeter of the Sunroom, as defined by this policy, is not required for Categories I and II

Sunrooms Adjacent to a Sleeping Room:

Emergency egress from a sleeping room shall meet the requirements of the 2018 IRC Section 310 and cannot egress through the Sunroom.

Required Light and Ventilation:

Per Section 303.2 of the 2018 IRC "Adjoining rooms, Exception". Openings required for light and/or ventilation shall be permitted to open into a thermally isolated Sunroom addition or patio cover, provided that there is an openable area between the adjoining room and the Sunroom or patio cover of not less than one tenth (1/10) of the floor area of the interior room but not less than twenty (20) square feet. The minimum openable area to the outdoors shall be based upon the total floor area being ventilated.

Sunrooms Adjacent to Manufactured Homes/Modular Units/Park Models:

Sunrooms must be self supporting when constructed adjacent to manufactured homes/ modular units or park models and cannot be supported by any of these units unless approved by an Arizona licensed engineer.

Submittal Requirements:

Submittal requirements shall be as detailed in policy PB-9 and shall include sufficient information to verify the vertical loads, anchorage and ledger connection to existing buildings, proposed foundations, vertical stability, and lateral stability using proper seismic and wind loads. A floor plan of the existing structure identifying uses of the rooms adjoining the Sunroom must also be provided.

Electrical:

Installation of electrical outlets, lights, and equipment shall comply with the regulations for exterior installation (weatherproof outlets GFCI protected). Exterior doors will require the installation of a switched light fixture per the requirements of E3903.3 of the 2018 IRC. Exterior Lights shall comply with the Yavapai County "dark sky" ordinance.

